



**TOWN OF SMITHFIELD**  
**Planning Board**

**APPLICATION FOR REVIEW**

Name of Project: \_\_\_\_\_ DATE: \_\_\_\_\_

<u>Classification</u>	<u>Type of Project</u>	<u>Review Stage</u>
<input type="checkbox"/> Administrative	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Administrative
<input type="checkbox"/> Minor	<input checked="" type="checkbox"/> Land Development	<input type="checkbox"/> Informal Concept
<input type="checkbox"/> Major	<input type="checkbox"/> Zoning Amendment	<input type="checkbox"/> Pre-Application/Concept
	<input type="checkbox"/> Realignment &/or Merger	<input checked="" type="checkbox"/> Master Plan
		<input type="checkbox"/> Preliminary Plan
		<input type="checkbox"/> Final Plan

Assessors Plat(s)/Lot(s): 37 19A \_\_\_\_\_  
Property Location: 438 PUTNAM PIKE  
 \_\_\_\_\_  
 \_\_\_\_\_

Size of Development: 52,7A05F # of Proposed Lots: - Zoning: PD

Applicant's Name: J.P. MORCIAN CHASE Phone #: 312 355 3388  
 Address: 10 S. DEARBORN - 15TH FL.  
CHICAGO, IL 60603

Owner's Name: JANCO CENTRAL Phone #: \_\_\_\_\_  
 Address: 35 SOLLANDSET CROSS ROAD  
CRANSTON, RI 02920

Owner's Name: \_\_\_\_\_ Phone #: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 \_\_\_\_\_

Contact Name: CORE STATES GROUP Phone #: 857-262-0191  
 Address: 9 GALEN ST. STE. 117 FAX #: \_\_\_\_\_  
WATER TOWN, MA 02472

[Signature]  
Signature of Applicant(s)

[Signature] AS AUTHORIZED  
Signature of Owner(s)

Signature of Applicant(s)

Signature of Owner(s)

Date: 5/21/2020

Date: 5/21/2020

ZONING DATA (PLANNED DEVELOPMENT - PD) - PLAT 37				
ITEM	REQUIRED	EXISTING	PROPOSED	COMMENT
MIN. LOT AREA	20,000 SF	52,740 SF	52,740 SF	COMPLIANT
MIN. LOT FRONTAGE	300 FEET	369.83 FT	369.83 FT	COMPLIANT
MIN. BUILDING FRONT SETBACK	50 FEET	53.6 FT	33.2 FT	VARIANCE REQUESTED
MIN. REAR SETBACK	100 FEET	59.7 FT	100 FT	COMPLIANT
MAX. BUILDING HEIGHT	39 FEET	N/A	28.3 FT	COMPLIANT
MAXIMUM LOT COVERAGE	25%	8.8 %	6.5 %	COMPLIANT

**PARKING CALCULATIONS:**

**EXISTING:**

PLAT 37, LOT 19A = 65 SPACES (TOTAL) (62 REG + 3 HC)

**PROPOSED:**

PLAT 37, LOT 19A = 22 SPACES (TOTAL) (20 REG + 2 HC)

**REQUIRED:**

MINIMUM ALLOWED:  
 FOR BANK USE = 1 SPACE FOR 250 GFA + 8 STACKING SPACES FOR DRIVE-THRU = 3,470 SF / 250 SF + 8  
 STACKING = 22 SPACES  
 TOTAL MINIMUM = 22 SPACES MINIMUM

**PROPERTY INFORMATION:**

THIS DRAWING REFERENCES: 438 PUTNAM PIKE, VILLAGE OF GREENVILLE BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY: GALLAS SURVEYING GROUP 2865 US ROUTE 1 NORTH BRUNSWICK, NJ 08902 CONTACT: CHARLES OSBORNE, PLS TEL: (732) 422-6700

PROPERTY OWNER: JANCO CENTRAL, INC. 35 SOCKANOSSET CROSS ROAD CRANSTON, RI 02920 (401) 946-4000

APPLICANT: J.P. MORGAN CHASE BANK 1450 BRICKELL AVENUE 3RD FLOOR MIAMI, FL 33131 CONTACT: CHRIS FOIT TEL: (786) 473-1769

SITE ADDRESS: 438 PUTNAM PIKE SMITHFIELD, RI 02917 COUNTY OF PROVIDENCE

ZONING DATA: ZONED: PLANNED DEVELOPMENT DISTRICT (PD)  
 EXISTING USE: RESTAURANT (PERMITTED)  
 PROPOSED USE: BANK (SPECIAL PERMIT REQUIRED)  
 DRIVE THROUGH (SPECIAL PERMIT REQUIRED)

**GENERAL DEVELOPMENT NOTES:**

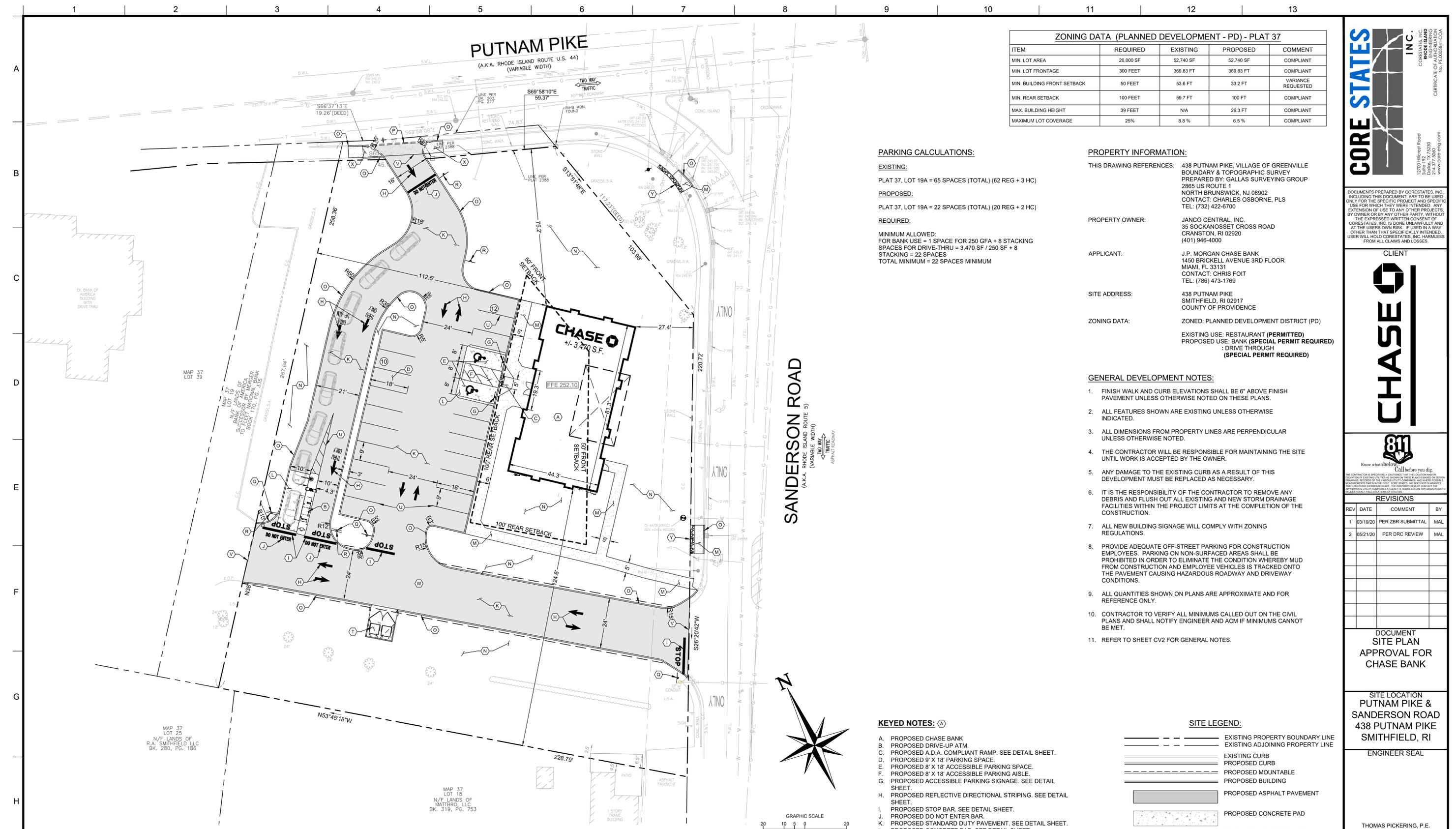
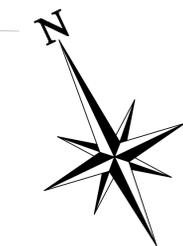
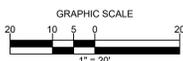
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL FEATURES SHOWN ARE EXISTING UNLESS OTHERWISE INDICATED.
- ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THE SITE UNTIL WORK IS ACCEPTED BY THE OWNER.
- ANY DAMAGE TO THE EXISTING CURB AS A RESULT OF THIS DEVELOPMENT MUST BE REPLACED AS NECESSARY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ANY DEBRIS AND FLUSH OUT ALL EXISTING AND NEW STORM DRAINAGE FACILITIES WITHIN THE PROJECT LIMITS AT THE COMPLETION OF THE CONSTRUCTION.
- ALL NEW BUILDING SIGNAGE WILL COMPLY WITH ZONING REGULATIONS.
- PROVIDE ADEQUATE OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS.
- ALL QUANTITIES SHOWN ON PLANS ARE APPROXIMATE AND FOR REFERENCE ONLY.
- CONTRACTOR TO VERIFY ALL MINIMUMS CALLED OUT ON THE CIVIL PLANS AND SHALL NOTIFY ENGINEER AND ACM IF MINIMUMS CANNOT BE MET.
- REFER TO SHEET CV2 FOR GENERAL NOTES.

**KEYED NOTES:**

- A. PROPOSED CHASE BANK
- B. PROPOSED DRIVE-UP ATM
- C. PROPOSED A.D.A. COMPLIANT RAMP. SEE DETAIL SHEET.
- D. PROPOSED 9' X 18' PARKING SPACE.
- E. PROPOSED 8' X 18' ACCESSIBLE PARKING SPACE.
- F. PROPOSED 8' X 18' ACCESSIBLE PARKING AISLE.
- G. PROPOSED ACCESSIBLE PARKING SIGNAGE. SEE DETAIL SHEET.
- H. PROPOSED REFLECTIVE DIRECTIONAL STRIPING. SEE DETAIL SHEET.
- I. PROPOSED STOP BAR. SEE DETAIL SHEET.
- J. PROPOSED DO NOT ENTER BAR.
- K. PROPOSED STANDARD DUTY PAVEMENT. SEE DETAIL SHEET.
- L. PROPOSED CONCRETE PAD. SEE DETAIL SHEET.
- M. PROPOSED CONCRETE SIDEWALK. SEE DETAIL SHEET.
- N. PROPOSED GRASSED/LANDSCAPED AREA.
- O. PROPOSED CONCRETE CURB. SEE DETAIL SHEET.
- P. PROPOSED FLUSH CURB. SEE DETAIL SHEET.
- Q. PROPOSED 'STOP' SIGN. SEE DETAIL SHEET.
- R. PROPOSED 'DO NOT ENTER' SIGN. SEE DETAIL SHEET.
- S. NOT USED.
- T. PROPOSED TRASH ENCLOSURE.
- U. PROPOSED PARKING SPACE STRIPING. SEE DETAIL SHEET.
- V. PROPOSED EDGE OF NEW PAVEMENT.
- W. EXISTING 27-FT WIDE RIGHT-OF-WAY EASEMENT.
- X. PROPOSED ADA ACCESSIBLE SIDEWALK TRANSITIONS REFER TO RI DOT WHEELCHAIR RAMP DETAIL.
- Y. PROPOSED WALL. CONTRACTOR TO MATCH EXISTING WALL SPECIFICATION.

**SITE LEGEND:**

- EXISTING PROPERTY BOUNDARY LINE
- - - EXISTING ADJOINING PROPERTY LINE
- EXISTING CURB
- PROPOSED CURB
- PROPOSED MOUNTABLE
- PROPOSED BUILDING
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAD
- PROPOSED CONCRETE SIDEWALK
- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURES
- ⊗ PROPOSED PARKING COUNT



**STORMWATER RUNOFF SUMMARY:**

PRE-DEVELOPMENT:  
 IMPERVIOUS AREA = 42,680 SF  
 PERVIOUS AREA = 10,061 SF

POST-DEVELOPMENT:  
 IMPERVIOUS AREA = 23,258 SF  
 PERVIOUS AREA = 29,483 SF

**ZONING RELIEF REQUESTS:**

SECTION 4.3  
 REQUEST FOR SPECIAL PERMIT TO OPERATE A BANK WITH DRIVE-THRU ATM ON PREMISE. TWO (2) EXISTING BANKS WITH DRIVE-THRUS ARE CURRENTLY LOCATED WITHIN 200' OF THE PROPERTY WITHIN THE PD DISTRICT.

SECTION 5.4:  
 REQUEST FRONT SETBACK REDUCTION FROM 50 FEET TO 32.7 FEET.

SECTION 5.7:  
 REQUEST BUILDING SETBACK FROM CENTERLINE OF ROAD REDUCTION FROM 100 FEET TO 70 FEET PER SECTION 5.7.1.F.

REQUEST OF BUILDING SETBACK REDUCTION FROM 50 FEET TO 32.7 FEET PER SECTION 5.7.1.H.

**ALERT TO CONTRACTOR:**

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

**CORE STATES INC.**  
 CORE STATES, INC.  
 RHODE ISLAND  
 1270 Hibernia Road  
 Dorset, RI 02829  
 401.337.5060  
 www.core-eng.com  
 CERTIFICATE OF AUTHORIZATION  
 No. PE003081C0A

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

**CHASE**

811

Know what's below. Call before you dig.

**REVISIONS**

REV	DATE	COMMENT	BY
1	03/19/20	PER ZBR SUBMITTAL	MAL
2	05/21/20	PER DRC REVIEW	MAL

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION PUTNAM PIKE & SANDERSON ROAD 438 PUTNAM PIKE SMITHFIELD, RI

ENGINEER SEAL

THOMAS PICKERING, P.E. RI LICENSE #12554 SHEET TITLE

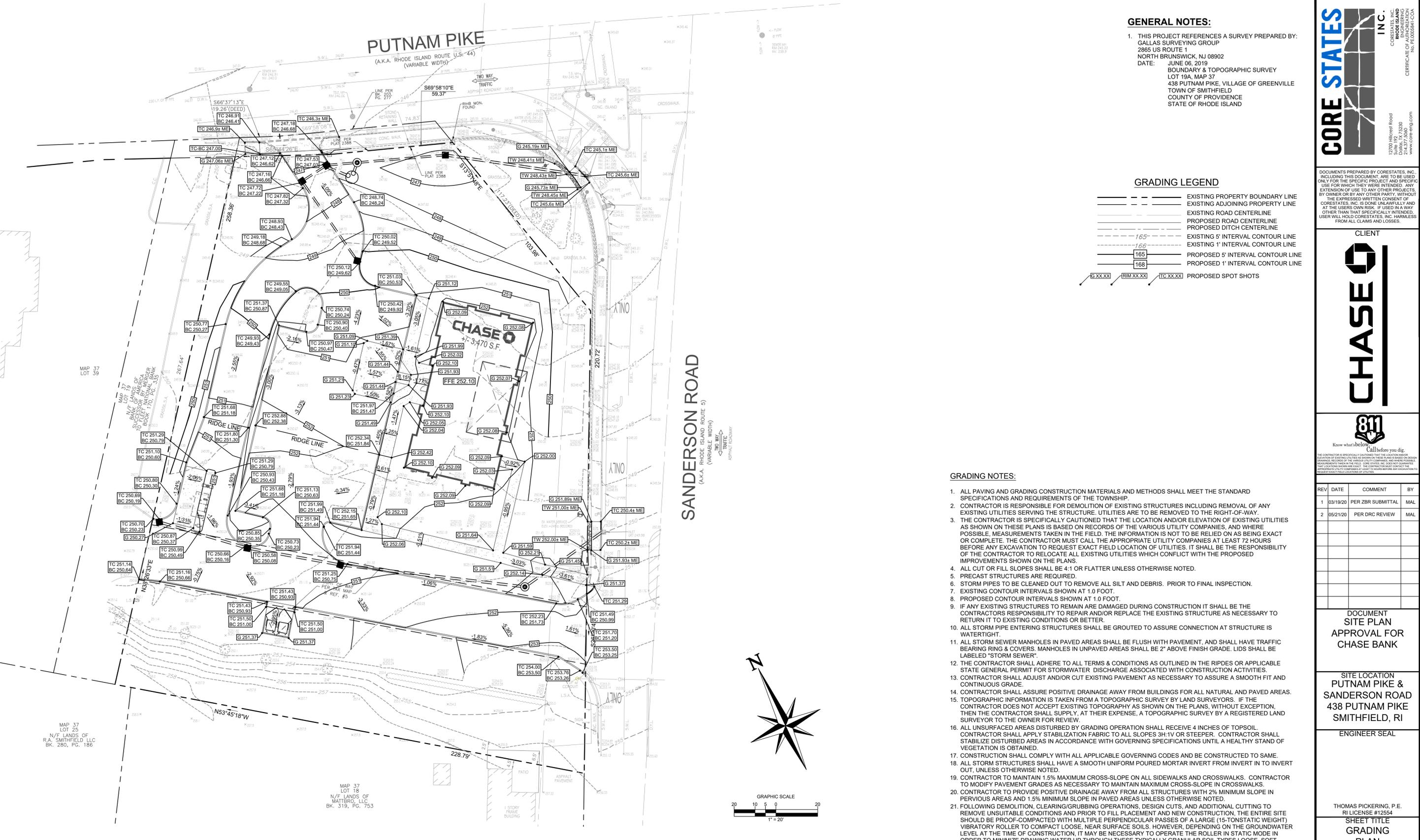
SITE PLAN

JOB #: JPM-26141  
 DATE: 1/15/20  
 SCALE: AS SHOWN  
 DRAWN BY: MAL  
 CHECKED BY: TP

SHEET NO. **C-2**

# PUTNAM PIKE (A.K.A. RHODE ISLAND ROUTE U.S. 44) (VARIABLE WIDTH)

# SANDERSON ROAD (A.K.A. RHODE ISLAND ROUTE 5) (VARIABLE WIDTH)



**GENERAL NOTES:**

- THIS PROJECT REFERENCES A SURVEY PREPARED BY: GALLAS SURVEYING GROUP  
2865 US ROUTE 1  
NORTH BRUNSWICK, NJ 08902  
DATE: JUNE 06, 2019  
BOUNDARY & TOPOGRAPHIC SURVEY  
LOT 19A, MAP 37  
438 PUTNAM PIKE, VILLAGE OF GREENVILLE  
TOWN OF SMITHFIELD  
COUNTY OF PROVIDENCE  
STATE OF RHODE ISLAND

**GRADING LEGEND**

---	EXISTING PROPERTY BOUNDARY LINE
- - -	EXISTING ADJOINING PROPERTY LINE
---	EXISTING ROAD CENTERLINE
---	PROPOSED ROAD CENTERLINE
---	PROPOSED DITCH CENTERLINE
---	EXISTING 5' INTERVAL CONTOUR LINE
---	EXISTING 1' INTERVAL CONTOUR LINE
---	PROPOSED 5' INTERVAL CONTOUR LINE
---	PROPOSED 1' INTERVAL CONTOUR LINE
G XX.XX	PROPOSED SPOT SHOTS

- GRADING NOTES:**
- ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS SHALL MEET THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE TOWNSHIP.
  - CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  - ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
  - PRECAST STRUCTURES ARE REQUIRED.
  - STORM PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS. PRIOR TO FINAL INSPECTION.
  - EXISTING CONTOUR INTERVALS SHOWN AT 1.0 FOOT.
  - PROPOSED CONTOUR INTERVALS SHOWN AT 1.0 FOOT.
  - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
  - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
  - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 2" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
  - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE RIDGES OR APPLICABLE STATE GENERAL PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
  - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
  - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
  - TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
  - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
  - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
  - ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT, UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO MAINTAIN 1.5% MAXIMUM CROSS-SLOPE ON ALL SIDEWALKS AND CROSSWALKS. CONTRACTOR TO MODIFY PAVEMENT GRADES AS NECESSARY TO MAINTAIN MAXIMUM CROSS-SLOPE IN CROSSWALKS.
  - CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES WITH 2% MINIMUM SLOPE IN PERVIOUS AREAS AND 1.5% MINIMUM SLOPE IN PAVED AREAS UNLESS OTHERWISE NOTED.
  - FOLLOWING DEMOLITION, CLEARING/GRUBBING OPERATIONS, DESIGN CUTS, AND ADDITIONAL CUTTING TO REMOVE UNSUITABLE CONDITIONS AND PRIOR TO FILL PLACEMENT AND NEW CONSTRUCTION, THE ENTIRE SITE SHOULD BE PROOF-COMPACTED WITH MULTIPLE PERPENDICULAR PASSES OF A LARGE (15-TON STATIC WEIGHT) VIBRATORY ROLLER TO COMPACT LOOSE, NEAR SURFACE SOILS. HOWEVER, DEPENDING ON THE GROUNDWATER LEVEL AT THE TIME OF CONSTRUCTION, IT MAY BE NECESSARY TO OPERATE THE ROLLER IN STATIC MODE IN ORDER TO MINIMIZE DRAWING WATER UP THROUGH THESE TYPICALLY GRANULAR SOIL TYPES. LOOSE, SOFT, WET OR UNSTABLE SOILS IDENTIFIED DURING THE PROOF-COMPACTATION SHOULD BE EXCAVATED TO AN ACCEPTABLE BEARING STRATUM AS DETERMINED BY A PSI REPRESENTATIVE. IF PRESENT, ABANDONED FOUNDATIONS, SLABS AND UTILITIES SHOULD BE REMOVED ENTIRELY BELOW THE PROPOSED BUILDING AND PAVEMENT AREAS. ANY REQUIRED BACKFILL OR NEW FILL SHOULD COMPLY WITH SECTION 3.3 STRUCTURAL FILL MATERIAL AND PLACEMENT. THE PLACEMENT OF A GEOTEXTILE AND/OR COARSE GRADED STONE MAY BE REQUIRED TO STABILIZE THE UNDERCUT
  - CONTRACTOR TO ADD WATERPROOFING AT ALL LOCATIONS WHERE THE EXTERIOR GRADE IS PROPOSED ABOVE THE FINISHED FLOOR ELEVATION. CONTRACTOR TO COORDINATE WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.

**ALERT TO CONTRACTOR:**

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

CORE STATES, INC.  
RHODE ISLAND  
1270 Hibernia Road  
Dorset, RI 02829  
314.377.5060  
www.core-eng.com

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

Know what's below.  
Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

REV	DATE	COMMENT	BY
1	03/19/20	PER ZBR SUBMITTAL	MAL
2	05/12/20	PER DRC REVIEW	MAL

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION

PUTNAM PIKE &  
SANDERSON ROAD  
438 PUTNAM PIKE  
SMITHFIELD, RI

ENGINEER SEAL

THOMAS PICKERING, P.E.  
RI LICENSE #12554

SHEET TITLE

GRADING  
PLAN

JOB #:

JPM-26141

DATE:

1/15/20

SCALE:

AS SHOWN

DRAWN BY:

MAL

CHECKED BY:

TP

SHEET NO.

C-3

2

User: MLEWIS Plot Date/Time: May 21, 20 09:47:46 Drawing: C:\Users\mlewis\appdata\local\temp\AcP\d18ah\_34232\JPM-26141-P-SITE.dwg, C:\S GRADING

**GENERAL NOTES:**

**THIS DRAWING REFERENCES:**

438 PUTNAM PIKE, VILLAGE OF GREENVILLE  
 BOUNDARY & TOPOGRAPHIC SURVEY  
 PREPARED BY: GALLAS SURVEYING GROUP  
 2865 US ROUTE 1  
 NORTH BRUNSWICK, NJ 08902  
 CONTACT: CHARLES OSBORNE, PLS  
 TEL: (732) 422-6700

**UTILITY NOTES:**

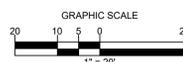
1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLANS.
3. MINIMUM HORIZONTAL SEPARATION OF 10 FEET REQUIRED BETWEEN SANITARY SEWER AND WATER LINES.
4. MINIMUM VERTICAL SEPARATION OF 2 FEET REQUIRED BETWEEN SANITARY SEWER AND WATER LINES.
5. CONTRACTOR TO EVALUATE THE CONDITION OF THE EXISTING WATER CONNECTION FOR REUSE PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO DETERMINE CONDITION OF THE EXISTING SANITARY LATERAL CONNECTION POINT BEFORE CONSTRUCTION WITH TVI INSPECTION.
7. CONTRACTOR TO PROVIDE POWER CONNECTIONS TO SITE LIGHTING AND BUILDING SIGNS AS REQUIRED.
8. CONTRACTOR TO MAINTAIN A MINIMUM OF 3 FEET OF COVER FOR ALL PROPOSED SEWER LATERALS AND A MINIMUM OF 4 FEET OF COVER OVER PROPOSED WATER LINES.
9. PROPOSED SANITARY SEWER LATERAL IS TO BE PRIVATELY OWNED AND MAINTAINED.
10. THE TOWNSHIP ENGINEER OR REPRESENTATIVE SHALL OBSERVE ALL TESTING OF THE BUILDING SEWER LATERAL. ALL EQUIPMENT AND MATERIALS REQUIRED FOR TESTING SHALL BE FURNISHED BY THE OWNER OF THE IMPROVED PROPERTY TO BE CONNECTED TO A SEWER. THE COST OF INSPECTION SHALL BE BORNE BY THE OWNER.
11. NO BUILDING SEWER SHALL BE COVERED UNTIL IT HAS BEEN INSPECTED, TESTED AND APPROVED. IF ANY PART OF A BUILDING SEWER IS COVERED PRIOR TO INSPECTION, TESTING AND APPROVAL, IT SHALL BE UNCOVERED FOR INSPECTION AND TESTED AT THE EXPENSE OF THE GENERAL CONTRACTOR.
12. SEPARATE UTILITY PERMIT APPLICATIONS WILL BE REQUIRED FOR ANY PROPOSED UTILITY WORK (GAS, ELECTRIC, WATER, ETC.) IN RIDOT ROW. APPLICANT HAS TO BE THE RESPECTIVE UTILITY COMPANY.
13. CONTRACTOR TO VERIFY SIZE AND INVERT OF EXISTING SANITARY TIE-IN PRIOR TO BEGINNING OF CONSTRUCTION TO SEE IF EXISTING LATERAL IS ADEQUATE FOR PROPOSED SANITARY SEWER LATERAL.

**KEYED NOTES:**

- A. PROPOSED SANITARY LATERAL BUILDING CONNECTION MINIMUM INVERT 241.86'
- B. PROPOSED 4" SDR 26 PVC SANITARY SEWER LATERAL AT A MINIMUM 1.0% SLOPE.
- C. PROPOSED NEW SANITARY SEWER LATERAL TIE-IN CONNECTION TO EXISTING MAIN. TIE-IN INVERT 240.0±. COORDINATION WITH TOWN SEWER DEPARTMENT IS REQUIRED TO VERIFY INVERT OF EXISTING SANITARY SEWER MAIN. CONTRACTOR TO COORDINATE WITH ENGINEER OF RECORD PRIOR TO BEGINNING OF CONSTRUCTION.
- D. PROPOSED SANITARY SEWER LATERAL CLEANOUT.
- E. PROPOSED GAS METER.
- F. PROPOSED 2" GAS SERVICE LINE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
- G. PROPOSED GAS POINT OF CONNECTION AT EXISTING MAIN. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
- H. PROPOSED 2" WATER SERVICE LINE CONNECTION TO BUILDING.
- I. PROPOSED 2" WATER SERVICE LINE.
- J. PROPOSED NEW 2" WATER TAP AT EXISTING MAIN ON SANDERSON STREET. CONTRACTOR TO VERIFY LOCATION OF EXISTING MAIN AND COORDINATE WITH GREENVILLE WATER DEPARTMENT AND ENGINEER OF RECORD PRIOR TO INSTALLATION.
- K. PROPOSED ELECTRICAL METER AND AUTOMATIC TRANSFER SWITCH. REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATION.
- L. PROPOSED UNDERGROUND ELECTRICAL CONDUIT. REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS.
- M. PROPOSED ELECTRICAL POINT OF CONNECTION. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO INSTALLATION.
- N. EXISTING STORM WATER INLET GRATE TO BE CONVERTED TO DRAINAGE MANHOLE COVER TO PROPOSED GRADE. RIM ELEVATION = 246.73.
- O. PROPOSED TRAFFIC SIGNAL POLE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR NEW POLE LOCATION.

**UTILITY LEGEND:**

- EXISTING PROPERTY BOUNDARY LINE
- - - EXISTING ADJOINING PROPERTY LINE
- EXISTING CURB
- PROPOSED CURB
- PROPOSED MOUNTABLE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURES
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- EXISTING UNDERGROUND ELECTRIC
- EXISTING TELEPHONE
- EXISTING OVERHEAD WIRES
- EXISTING SANITARY
- EXISTING STORM
- PROPOSED STORM PIPE
- PROPOSED WATER
- PROPOSED SANITARY
- PROPOSED SANITARY FORCE MAIN



**ALERT TO CONTRACTOR:**  
 PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

CORE STATES, INC.  
 1270 Hibernia Road  
 Dover, NJ 07801  
 214.377.5040  
 www.core-eng.com

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

Know what's below.  
 Call before you dig.  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

REVISIONS			
REV	DATE	COMMENT	BY
1	03/19/20	PER ZBR SUBMITTAL	MAL
2	05/21/20	PER DRC REVIEW	MAL

DOCUMENT  
 SITE PLAN  
 APPROVAL FOR  
 CHASE BANK

SITE LOCATION  
 PUTNAM PIKE &  
 SANDERSON ROAD  
 438 PUTNAM PIKE  
 SMITHFIELD, RI

THOMAS PICKERING, P.E.  
 RI LICENSE #12554

SHEET TITLE  
 UTILITY  
 PLAN

JOB #: JPM-26141

DATE: 1/15/20

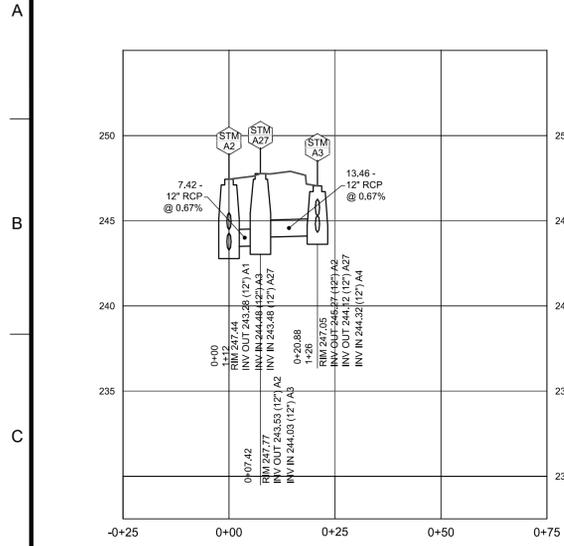
SCALE: AS SHOWN

DRAWN BY: MAL

CHECKED BY: TP

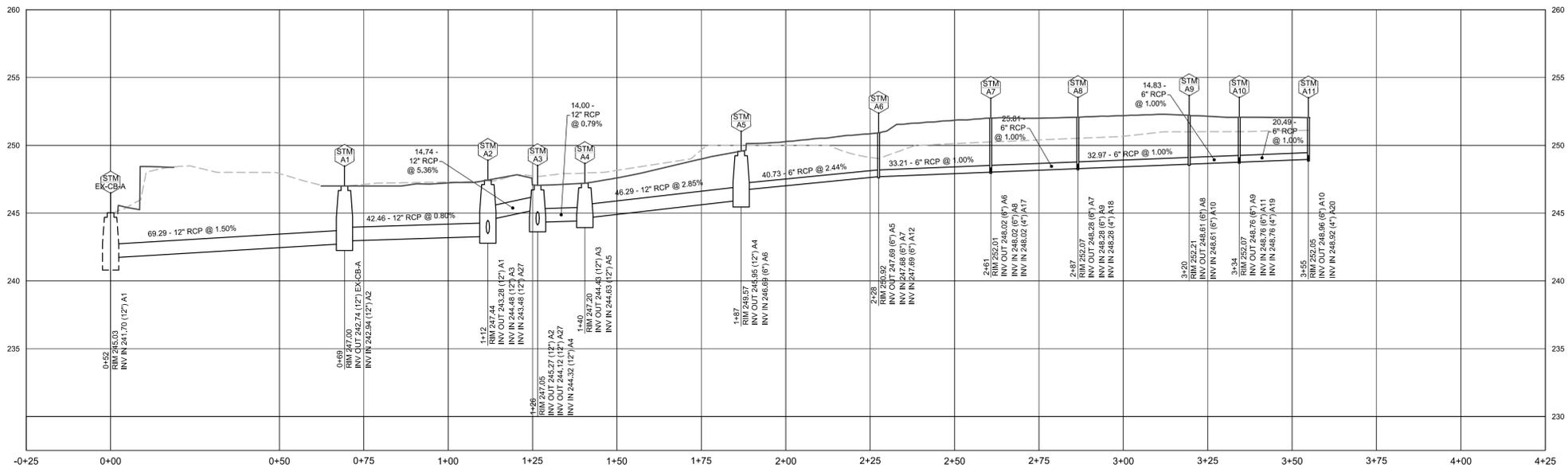
SHEET NO.  
 C-6

User: MLEWIS Plot Date/Time: May 21 20 09:47:54 Drawing: C:\Users\mlewis\appdata\local\temp\AcP\d1b1h\_34232\JPM-26141-P-SITE.dwg :C6 UTILITY



**A2 - A27 - A3**

SCALE  
VERTICAL 1" = 5'  
HORIZONTAL 1" = 20'



**EX-CB-A - A11**

SCALE  
VERTICAL 1" = 5'  
HORIZONTAL 1" = 20'

D

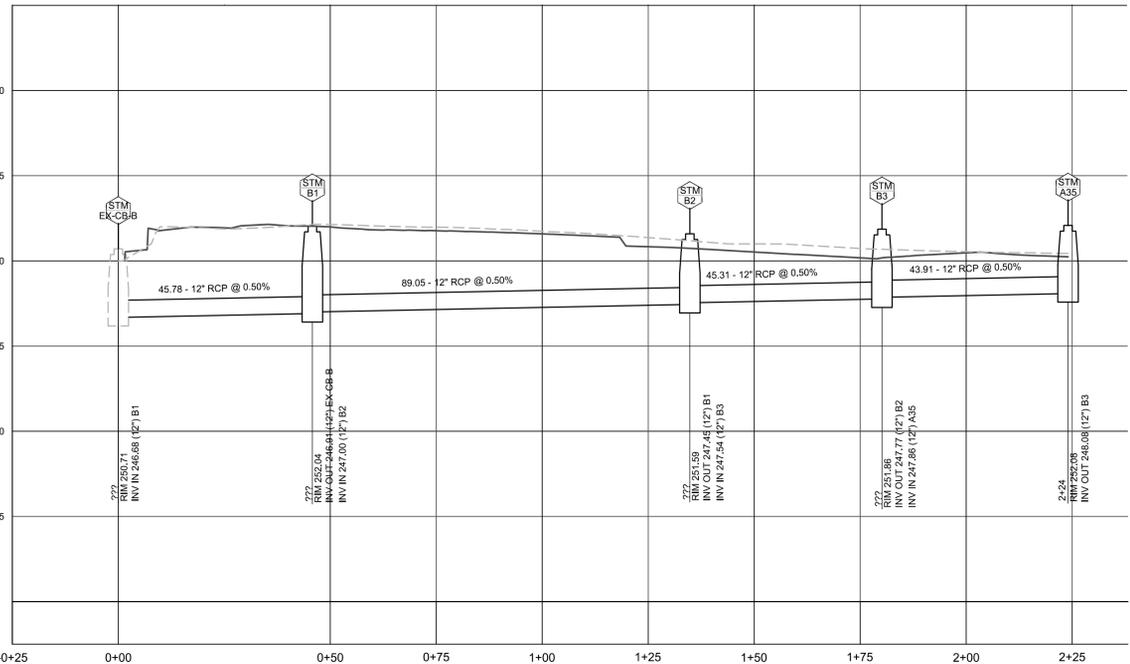
F

F

G

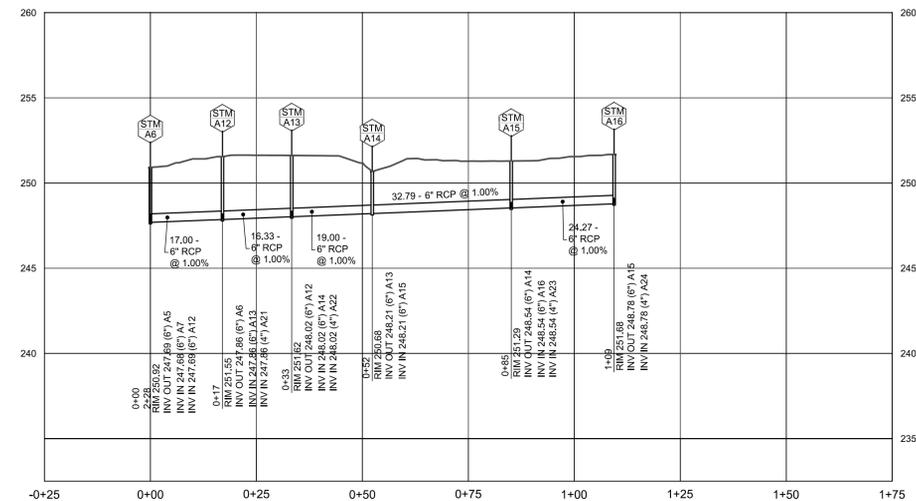
H

I



**EX-CB-B - B3**

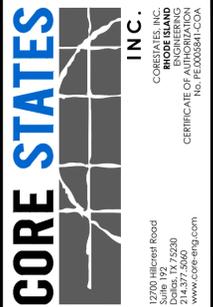
SCALE  
VERTICAL 1" = 5'  
HORIZONTAL 1" = 20'



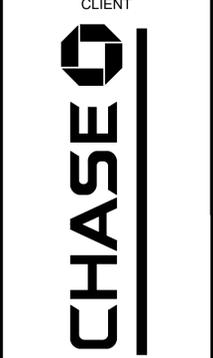
**A6 - A16**

SCALE  
VERTICAL 1" = 5'  
HORIZONTAL 1" = 20'

**ALERT TO CONTRACTOR:**  
PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.



DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.



REVISIONS			
REV	DATE	COMMENT	BY
1	03/19/20	PER ZBR SUBMITTAL	MAL
2	05/21/20	PER DRC REVIEW	MAL

DOCUMENT  
SITE PLAN  
APPROVAL FOR  
CHASE BANK

SITE LOCATION  
PUTNAM PIKE &  
SANDERSON ROAD  
438 PUTNAM PIKE  
SMITHFIELD, RI

ENGINEER SEAL

THOMAS PICKERING, P.E.  
RI LICENSE #12554  
SHEET TITLE  
STORM  
PROFILES

JOB #: JPM-26141  
DATE: 1/15/20  
SCALE: AS SHOWN  
DRAWN BY: MAL  
CHECKED BY: TP

