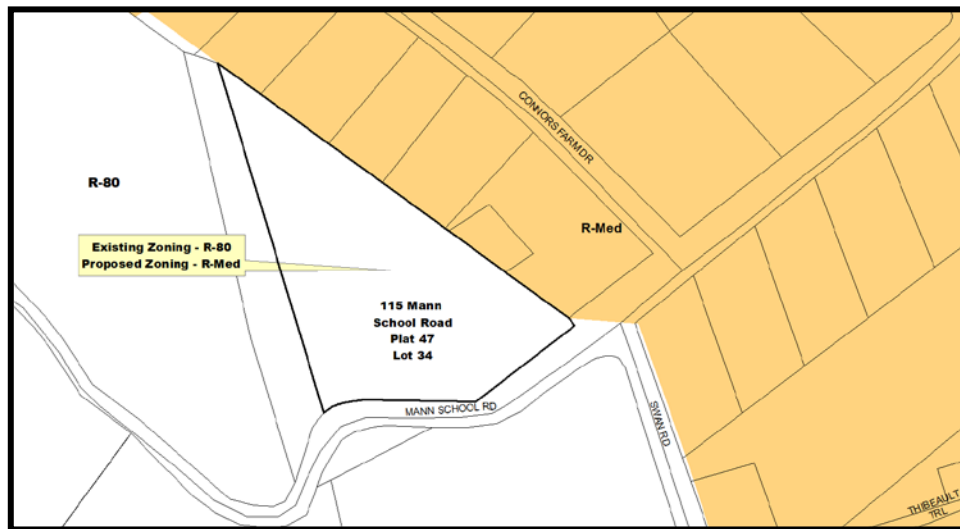


TOWN OF SMITHFIELD, RHODE ISLAND PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Smithfield Town Council will hold a Public Hearing at the Smithfield Town Hall, 64 Farnum Pike, Smithfield, RI on **Tuesday, October 19th, 2021 at 6:00 PM.** The purpose of the Public Hearing is to consider and act upon proposed amendments to the Zoning District Map. These amendments are proposed to be made in accordance with the provisions of Section, 45-24.50, 45-24.51 and 45-24.53 of the General Laws of Rhode Island.

The proposed amendments involve a change of the Zoning classification of Assessor's Plat 47, Lot 63, 115 Mann School Road, from Low Density Residential (R-80) to Medium Density Residential (R-Med) as shown on the map below.



At said Hearing opportunity will be given to all interested persons to be heard upon the proposed amendments. The proposed amendments may be altered or amended prior to the close of the Public Hearing, without further advertising, as a result of further study or because of the views expressed at the Public Hearing. Any alteration or amendment must be presented for comment in the course of the Hearing.

Availability of Information

The application and accompanying documents for this application are available for the public to review during normal business hours at the Smithfield Planner's Office, 64 Farnum Pike, Town Hall – Lower Level, Smithfield, RI and on the Town Planner's page of the Town's Website: <https://www.smithfieldri.com/>

If communication assistance (readers/interpreters/captions) or any other accommodation to ensure equal participation is needed, please contact the Smithfield Town Manager's office at 401-233-1010 at least forty-eight (48) hours prior to the meeting. Please call (401) 233-1010 with any Technical difficulties during the meeting.

BY ORDER OF THE TOWN COUNCIL.
Suzanna L. Alba, President

July 29, 2021

Smithfield Planning Board
Albert Gizzarelli, Honorable Chairman
64 Farnum Pike
Smithfield RI 02917

Re: 115 Mann School Road Plat 47 Lot 115
Previous application for minor subdivision conditional preliminary approval

REQUEST FOR ADVISORY RECOMMENDATION IN CONNECTION WITH A ZONING CHANGE

Applicant: John & Kristine Yoakum

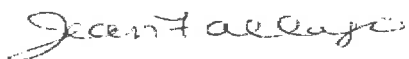
BACKGROUND: Petitioner appeared before this board on July 7, 2021 in connection with an application for Conditional Preliminary Approval of a Minor Subdivision with regard to the subject parcel which would allow for the subdivision of the existing single lot into two lots. In connection with the minor subdivision, a zone change would be necessary from the current R-80 zone to R Medium Density.

REQUEST

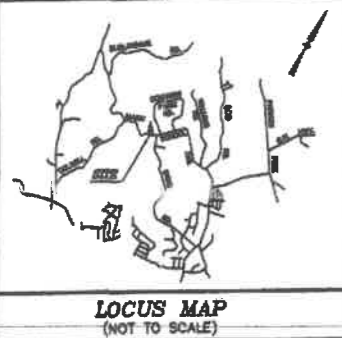
Pursuant to RI General Laws 45-24-51 and the Smithfield Zoning Ordinance, Article II, Applicant is requesting an advisory recommendation from the Planning Board to the Town Council in connection with a zone change, including recommendation of amendment to the Future Land Use Map LU-11 and Zoning Map and acknowledgement of consistency of the request with the goals and objectives of the Comprehensive Community Plan.

The existing lot is currently served by public water and the new lot will also tie into public water. There will be sufficient frontage on each lot in conformance with zoning requirements. The resulting subdivision will also conform the lot size requirements. No waivers or variances will be needed from zoning.

The rezoning of the subject lot from the existing R-80 to R-Medium Density is in conformance with the goals and objectives of the Comprehensive Community Plan and will also be consistent with the area which was just recently rezoned to R-Medium Density, specifically Connors Farm which development directly abuts the subject property to it's right.



By Jean Fallago, Attorney for Petitioner
132B Pleasant View Avenue
Smithfield RI 02918 (401) 231-4805 email: jfallagoesq@aol.com

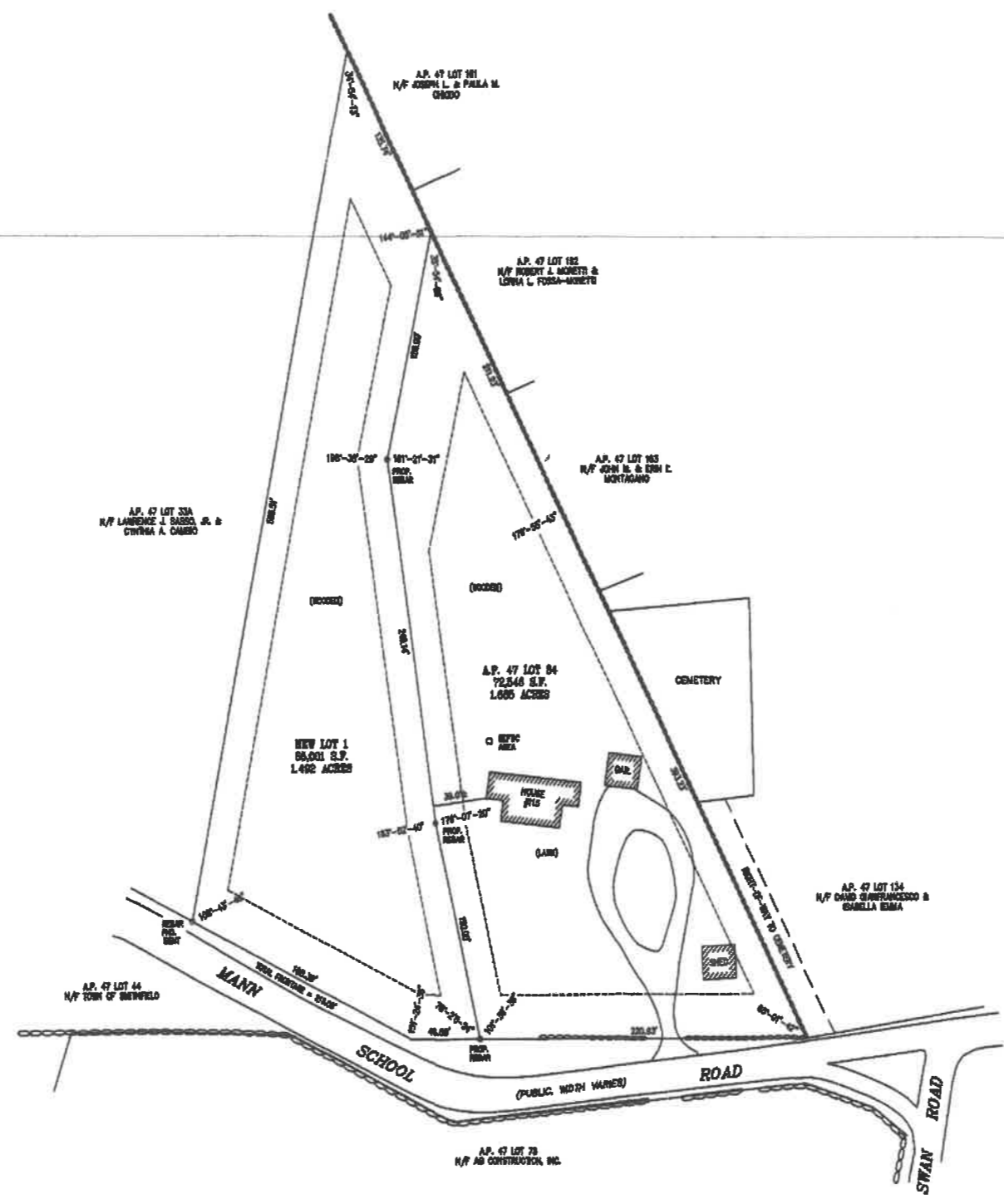


EXISTING ZONING R-80

MINIMUMS:	
AREA	80,000 S.F.
FRONTAGE	200'
SETBACKS:	
FRONT	40'
SIDE	25'
REAR	75'

PROPOSED ZONING R-MED

MINIMUMS:	
AREA	40,000 S.F.
FRONTAGE	150'
SETBACKS:	
FRONT	30'
SIDE	25'
REAR	40'



NOTES:

- 1) OWNER/APPLICANT: JOHN & KRISTINE YOAKUM
115 MANN SCHOOL ROAD
SMITHFIELD, RI 02817
- 2) THE SUBJECT PARCEL CURRENTLY LIES ENTIRELY WITHIN THE R-80 ZONING DISTRICT.
- 3) PARCEL DATA: A.P. 47 LOT 34
TOTAL AREA = 3.180 ACRES
EXISTING LOTS = 1
PROPOSED LOTS = 2
LENGTH OF NEW ROAD = 0 L.F.
- 4) THERE ARE NO KNOWN WETLANDS ON THE SUBJECT LOT.
- 5) THIS SITE DOES NOT LIE WITHIN A RIDEAU NATURAL HERITAGE AREA OR OR WITHIN A ZONING OVERLAY DISTRICT.
- 6) THE SITE DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 440070018H EFFECTIVE DATE 10/02/2015.
- 7) THIS PROJECT IS TIED INTO THE TOWN OF SMITHFIELD'S HORIZONTAL AND VERTICAL CONTROL NETWORKS.
- 8) THERE IS NO LAND PROPOSED TO BE DEDICATED AS OPEN SPACE.

REFERENCES:

- 1) PLAN ENTITLED: "PHASE 1 - RECORD PLAN CORNERS PART", DATED COVER (NO. PREPARED BY EXPRE ENGINEERS ASSOC. INC. AND FILED ON PLAT CARD 170 IN THE TOWN OF SMITHFIELD.
- 2) PLAN ENTITLED: "SURVEY PLAN OF LAND 'SHARD PROPERTY' IN THE SMITHFIELD LAND TRUST ON MANN SCHOOL ROAD & COLLELL ROAD IN SMITHFIELD IN A.P. 47 LOTS 33 & 34", DATED 10/28/15, REF. NO. 150003-3P.
- 3) PLAN ENTITLED: "SECOND PLAN PHASE 2 CORNERS FROM SMITHFIELD, RHODE ISLAND REALTY ASSOCIATES", PREPARED BY EXPRE ENGINEERS ASSOC. INC. AND FILED IN PLAN BOOK 4 ON PAGE 83 IN THE TOWN OF SMITHFIELD.
- 4) DEED BOOK 457, PAGE 386.

CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: COMPREHENSIVE BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS 1

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
PRELIMINARY

BY: *Patricia A. Kelly*
PATRICIA A. KELLY, PLS #488 USA #4734 DATE 7/16/21



STREET INDEX:
MANN SCHOOL ROAD



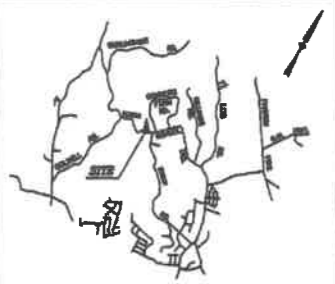
NO.	REVISION	DATE	BY

PRELIMINARY - MINOR SUBDIVISION

JOHN & KRISTINE YOAKUM
115 MANN SCHOOL ROAD
SMITHFIELD, RI
A.P. 47 LOT 34

KELLY LAND SERVICES, INC.
LAND SURVEYING - SUBDIVISIONS - SEPTIC DESIGNS - SOIL EVALUATIONS
401-293-0535
kellylandservices@gmail.com
PATRICIA A. KELLY, PLS
Rhode Island - Massachusetts

DATE: 05/13/21
SCALE: 1"=50'
SHEET NO: 1 OF 1
PROJ. NO: 200006-01



LOCUS MAP
(NOT TO SCALE)

ZONING R-80

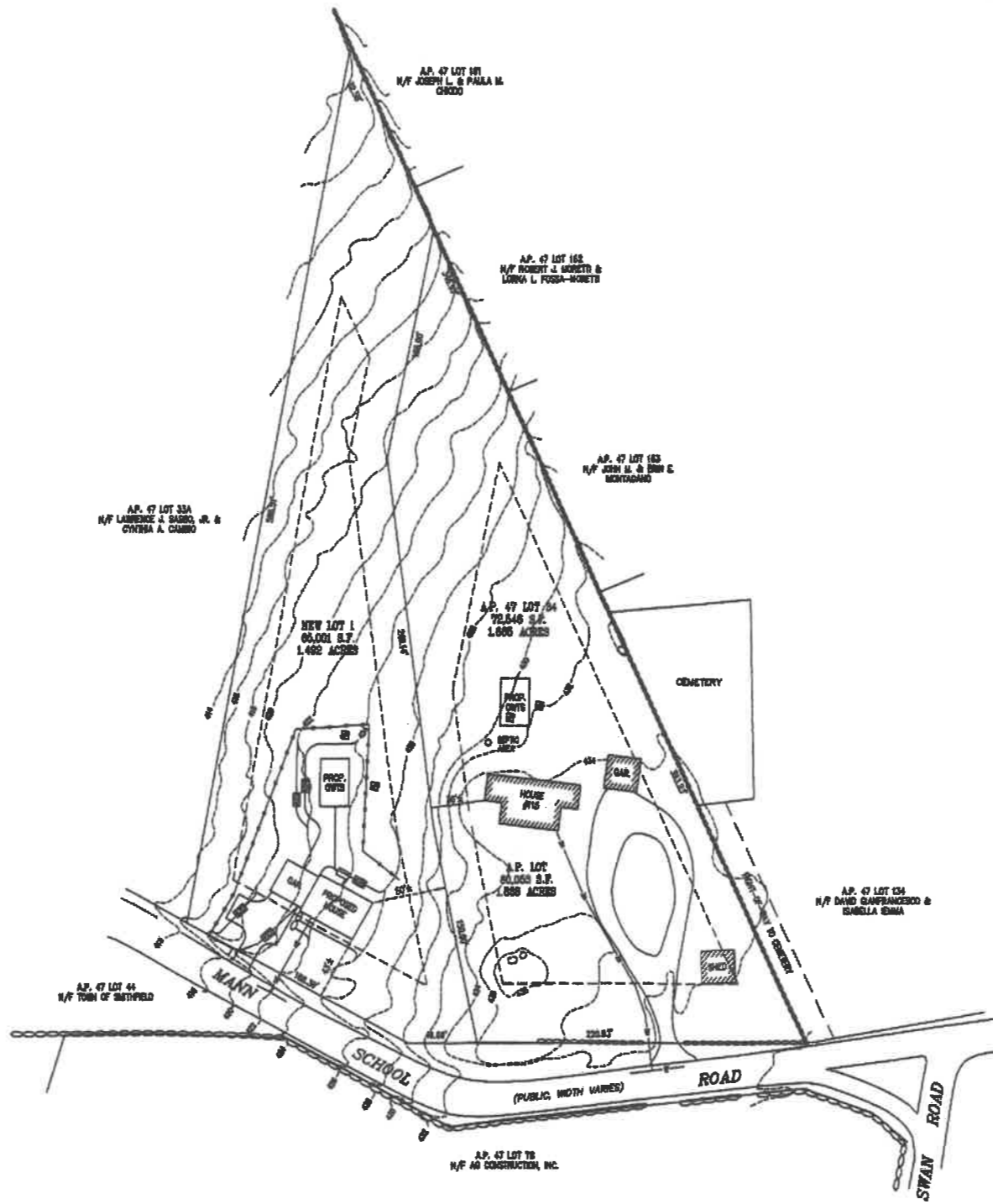
MINIMUM:
AREA 80,000 S.F.
FRONTAGE 200'
SETBACKS:
FRONT 40'
SIDE 25'
REAR 75'

LEGEND:

EXISTING CONTOUR ———— 100'
PROPOSED CONTOUR ———— 100'
ZONING SETBACK LIMIT ————
EXISTING STONE WALL ————
EXISTING WATER LINE ————
PROPOSED WATER LINE ————
PROPOSED SILT FENCE OR SILT SOCK EROSION CONTROL ————

REFERENCES:

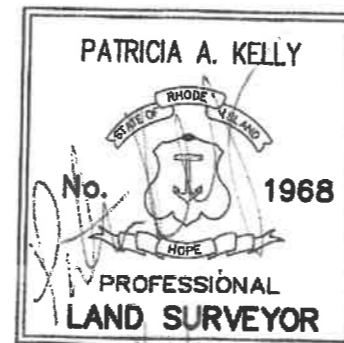
- 1) PLAN ENTITLED: "PHASE 1 - RECORD PLAN CORNERS PART", DATED OCTOBER 1980, PREPARED BY DIWINE ENGINEERING ASSOC., INC. AND FILED ON PLAT CARD 170 IN THE TOWN OF SMITHFIELD.
- 2) PLAN ENTITLED: "SURVEY PLAN OF LAND 'BARRO PROPERTY' for THE SMITHFIELD LAND TRUST on MANN SCHOOL ROAD & CORNELL ROAD in SMITHFIELD, in A.P. 47 LOTS 33 & 42A", DATED 10/25/18, REF. NO. 150803-8P.
- 3) PLAN ENTITLED: "RECORD PLAN PHASE 2 CORNER FROM SMITHFIELD, RHODE ISLAND REA REALTY ASSOCIATES", PREPARED BY DIWINE ENGINEERING ASSOC., INC AND FILED IN PLAN BOOK 4 ON PAGE 61 IN THE TOWN OF SMITHFIELD.
- 4) DEED BOOK 457, PAGE 306.



NOTES:

- 1) OWNER/APPLICANT: JOHN & KRISTINE YOAKUM
115 MANN SCHOOL ROAD
SMITHFIELD, RI 02817
- 2) THE SUBJECT PARCEL LIES ENTIRELY WITHIN THE R-80 ZONING DISTRICT.
- 3) PARCEL DATA: A.P. 47 LOT 34
TOTAL AREA = 3.159 ACRES
EXISTING LOTS = 1
PROPOSED LOTS = 2
LENGTH OF NEW ROAD = 0 L.F.
- 4) THERE ARE NO KNOWN WETLANDS ON THE SUBJECT LOT.
- 5) THIS SITE DOES NOT LIE WITHIN A REDDEN NATURAL HERITAGE AREA OR OR WITHIN A ZONING OVERLAY DISTRICT.
- 6) THIS SITE DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 44007C0168H EFFECTIVE DATE 10/02/2018.
- 7) THIS PROJECT IS TIED INTO THE TOWN OF SMITHFIELD'S HORIZONTAL AND VERTICAL CONTROL NETWORKS.
- 8) THERE IS NO LAND PROPOSED TO BE DEDICATED AS OPEN SPACE.

STREET INDEX:
MANN SCHOOL ROAD



CERTIFICATION

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TYPE OF BOUNDARY SURVEY: COMPREHENSIVE BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS 1

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
PRELIMINARY

BY: *Patricia A. Kelly*
PATRICIA A. KELLY, PLS #1968 COA 80324 DATE: 08/18/21

NO.	REVISION	DATE	BY
PRELIMINARY - MINOR SUBDIVISION PROPOSED SITE PLAN			
JOHN & KRISTINE YOAKUM 115 MANN SCHOOL ROAD SMITHFIELD, RI A.P. 47 LOT 34			
KELLY LAND SERVICES, INC. LAND SURVEYING - SUBDIVISIONS - REPTIC DESIGNS - SOIL EVALUATIONS			
401-293-0535	DATE: 08/18/21	SCALE: 1"=50'	
kellylandservices@gmail.com	SHEET NO: 1 OF 2		PROJ. NO: 185 200608-81
PATRICIA A. KELLY, PLS Rhode Island - Massachusetts			